



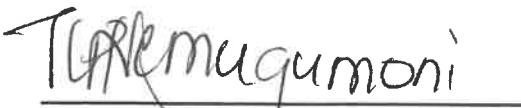
Erratum page 1

ERRATUM NO. 2

BID NUMBER: PM12 - 24/25

ERRATUM TO BID DOCUMENT IS AS FOLLOWS:

- Bidders are informed that the footer of the bid description – Appointment of the three (3) contractors for the construction of Low Cost Houses (RDP) for a period of one year (2024/2025) financial year to be removed and replaced with: **APPOINTMENT OF PANEL FOR TEN (10) CONTRACTORS FOR THE CONSTRUCTION OF LOW COST HOUSES (RDP) FOR A PERIOD OF THREE (03) YEARS.**
- Bidders are informed of the erratum on page 41 of bid document - item (3) remove Daily Rate = R191.60 and replace with **EPWP rate that shall be in line with Department of Labour rates, priced per milestone per day.**
- **Page 111 item 17 remove (RETENTION) remain with Defects Liability Period as a sub-heading.**
- **Page 131: item C3.1 Description – remove -** The Municipality intend to appoint 3 service providers for the construction of 404 low cost housing units (RDP) within the identified developmental areas of Polokwane Municipality and **replace** it with The Municipality intends to Appoint panel of ten (10) contractors for the construction of Low Cost Houses (RDP) for a period of three (03) years, for this current financial year, the number of Low Cost Housing Units is 404, and the Project is classified into two categories, namely 254 rural units and 150 urban units.
- Other financial years, the number of units will be given as and when the allocations are received.
- Low cost houses (RDP) Drawings pages was omitted on the original tender document, and is replaced on page 139;140;141.



MS. THUSO NEMUGUMONI

MUNICIPAL MANAGER

Erratum page 2



PART A

INVITATION TO BID

MBD1

YOU ARE HEREBY INVITED TO BID FOR REQUIREMENTS OF THE (NAME OF MUNICIPALITY/ MUNICIPAL ENTITY)					
BID NUMBER:	PM 12 - 24/25	CLOSING DATE:	17 September 2024	CLOSING TIME:	10H00
BID DESCRIPTION	APPOINTMENT OF PANEL FOR TEN (10) CONTRACTORS FOR THE CONSTRUCTION OF LOW COST HOUSES (RDP) FOR A PERIOD OF THREE (03) YEARS				
THE SUCCESSFUL BIDDER WILL BE REQUIRED TO FILL IN AND SIGN A WRITTEN CONTRACT FORM (MBD7).					

BID RESPONSE DOCUMENTS MUST BE DEPOSITED IN THE BID BOX SITUATED AT Polokwane Municipality, Civic Centre, corner Bondenstein and Landros Mare Street not later than **17 September 2024 at 10:00 AM**

Compulsory briefing session will be held on the 29 August 2024 @ 10H00 AM at New Peter Mokaba Stadium Complex, Executive Lounge 1st Floor

The Bid box is generally open 24 hours, 7 days a week.

Completed Bid document, fully priced and signed must be sealed in an envelope marked “ Bid number and Bid description”

Bidders should ensure that bids are delivered timeously to the correct address. If the bid is late, it will not be accepted for consideration.

Bids documents containing the Conditions of Bid and other requirements in terms of the Supply Chain Management Policy will be downloaded from e-tender Publication Portal at www.etender.gov.za and Polokwane Municipality website www.polokwane.gov.za at no fee..

SUPPLIER INFORMATION

NAME OF BIDDER					
POSTAL ADDRESS					
STREET ADDRESS					
TELEPHONE NUMBER	CODE		NUMBER		
CELLPHONE NUMBER					
FACSIMILE NUMBER	CODE		NUMBER		
E-MAIL ADDRESS					
VAT REGISTRATION NUMBER					
TAX COMPLIANCE STATUS	TCS PIN:		OR	CSD No:	

ARE YOU THE ACCREDITED REPRESENTATIVE IN SOUTH AFRICA FOR THE GOODS /SERVICES OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES ENCLOSE PROOF]	ARE YOU A FOREIGN BASED SUPPLIER FOR THE GOODS /SERVICES OFFERED?	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES, ANSWER PART B:3]
TOTAL NUMBER OF ITEMS OFFERED		TOTAL BID PRICE	
MINIMUM WORK OPPORTUNITIES TO BE CREATED	58	CIDB GRADING	4GB OR HIGHER
SIGNATURE OF BIDDER	DATE	
CAPACITY UNDER WHICH THIS BID IS SIGNED			
BIDDING PROCEDURE ENQUIRIES MAY BE DIRECTED TO:		TECHNICAL INFORMATION MAY BE DIRECTED TO:	
DEPARTMENT	SUPPLY CHAIN	CONTACT PERSON	VIVIAN MALULEKA / MANTOA LEKALAKALA
CONTACT PERSON	MR TIRO PILUSA	TELEPHONE NUMBER	015 290 2108/2363
TELEPHONE NUMBER	015 290 2148	FACSIMILE NUMBER	
FACSIMILE NUMBER		E-MAIL ADDRESS	vivianm@polokwane.gov.za / MantoaL@polokwane.gov.za
E-MAIL ADDRESS	tirop@polokwane.gov.za		

Erratum page 3

A: SCHEDULE OF LABOUR CONTENT

The Tenderer must complete the table below to reflect the labour force anticipated to be employed on this contract, including labour employed by sub-contractors.

The specified target value is **5%** of the contract value

Type of Labour	Man-hours	Minimum Wage Rate per Unit	Total Wage Cost (Excl VAT)
Permanent Labour			
Temporary Labour			
SMME/HDI's Labour			
TOTAL PERCENTAGE			

EPWP rate shall be in line with Department of Labour rates, priced per milestone per day.

SIGNED ON BEHALF OF THE TENDERER:

Erratum page 4

BID NUMBER:PM 12- 24/25

BID DESCRIPTION: APPOINTMENT OF PANEL FOR TEN (10) CONTRACTORS FOR THE CONSTRUCTION OF LOW COST HOUSES (RDP) FOR A PERIOD OF THREE (03) YEARS.

16.3.3 has not reached practical completion, Municipal project manager / coordinator shall forthwith issue a snag/defects list to the contractor defining the incomplete work and defects to be rectified to achieve practical completion.

16.4 Where in the opinion of the contractor, the work on the snag/defects list has been completed; the contractor shall inform Municipal project manager / coordinator who shall inspect such work within seven (07) working days of receipt thereof. Where in the opinion of Municipal project manager / coordinator, the work on the snag list:

16.4.1 has been satisfactorily completed, Municipal project manager / coordinator shall forthwith issue a certificate of practical completion; or

16.4.2 has not been satisfactorily completed, Municipal project manager / coordinator shall forthwith identify the items on the snag list that are not yet complete and inform the contractor thereof and the contractor shall proceed to rectify.

16.5 Should Municipal project manager / coordinator not issue a snag/ defects list or updated list within seven (07) working days of the end of the inspection period, the contractor shall notify the Municipality. Should the Municipality not issue such snag/ defects list within seven (07) working days of receipt of such notice practical completion shall be deemed to have been achieved either:

16.5.1 On the date that practical completion was anticipated;

16.5.2 On the date of expiry of the notice given by the contractor.

16.6 The contractor shall not be obliged to carry out any contract instruction for additional work issued after the date of practical completion.

16.7 Upon the issue of the certificate of practical completion, the Municipality shall be entitled to possession of the works and the site and the defects liability period shall commence.

17. DEFECTS LIABILITY PERIOD

17.1 The defects liability period shall commence with the issue of the certificate of practical completion of the works or deemed achievement of practical completion.

17.2 The defects liability period shall be a period of three (03) months from date of issue of practical completion certificate.

17.3 Five (05) working days after the expiry of defects liability period:

17.3.1.a joint inspection of the works between the Municipal project manager / coordinator, PMU, NHBRC and the contractor shall be done

Erratum page 5

BID NUMBER: PM 12 - 24/25

BID DESCRIPTION: APPOINTMENT OF PANEL FOR TEN (10) CONTRACTORS FOR THE CONSTRUCTION OF LOW COST HOUSES (RDP) FOR A PERIOD OF THREE (03) YEARS.

C3.1. Description of The Works

- The Municipality intends to appoint panel of ten (10) contractors for the construction of Low Cost Houses (RDP) for a period of three (03) years, for this current financial year, the number of Low Cost Housing Units is 404, and the Project is classified in to two categories, namely 254 rural units and 150 urban units
- Other financial years, the number of units will be given as and when the allocations are received

- **RURAL ALLOCATIONS**

Each rural unit will comprise of 2 bedrooms, open plan kitchen, living area and a VIP toilet. Rural housing allocation is 254 units which will be divided by 2 equal parts (127 units per contractor). Rural Housing units will be built in different wards of the municipality and different villages.

Product description

40m² house to be built according to the approved building plan. Built with brick and mortar. Foundation, roof aprons to be specified by the Engineer. The walls should be plastered and painted both internally and externally

Roof Covering

Houses will be roofed with concrete roof tiles

Electrical Work

Electrical work should be done in accordance to their stands and should correspond with the approved plan.

VIP Toilet

Each unit to go with a VIP toilet and be built according to plan.

- **URBAN ALLOCATIONS**

Each urban unit will comprise of 2 bedrooms, open plan kitchen, living area and a bathroom. Urban housing allocation is 150 units which will be built in Polokwane Ext 126 and Ext 127.

Product description

40m² house to be built according to the approved building plan. Built with brick and mortar. Foundation, roof aprons to be specified by the Engineer. The walls should be plastered and painted both internally and externally

Roof Covering

Houses will be roofed with concrete roof tiles

Electricity and plumbing work

Electricity and plumbing work should be done in accordance to their stands and should correspond with the approved plan.

NB. All works should be built in accordance with the National Building Regulations and Standard Act (Act 107 of 1977)

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POLOKWANE MUNICIPALITY

C4.1 Drawings

SEE ATTACHED LOW COST HOUSES (RDP) DRAWINGS.

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NOTES:
 The drawings are not to be scaled. All dimensions and heights to be checked and verified before construction. All dimensions are to be taken from the finished floor level unless otherwise specified. All levels, heights, plinth, depth of excavations & number of steps to be finally checked by contractor before commencement of work.
 All site works and levels according to Engineers specification and details.
 All building materials to be SABS approved and stamped where applicable.
 All work to be done in accordance with the NHBRC Home Building Manual (Act 103 of 1977 as amended) & NHBRC Home Building Manual.
 In case of uncertainty National Building Regulations and Standards (NBRS) Home Building Manual should take precedence.

REV. NO. DATE REVISION

DEPARTMENT

LIMPOPO
 REPUBLIC OF SOUTH AFRICA
 MINISTRY OF COOPERATIVE DEVELOPMENT AND SUPPORT SERVICES

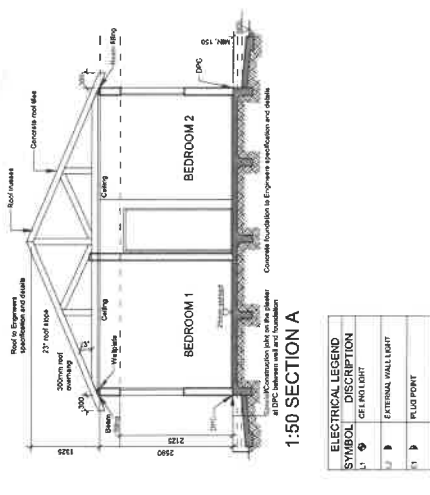
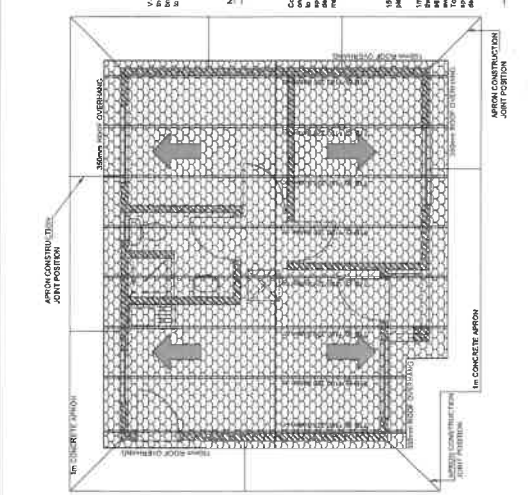
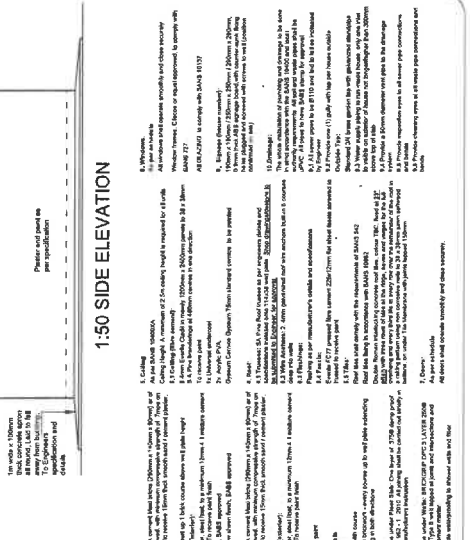
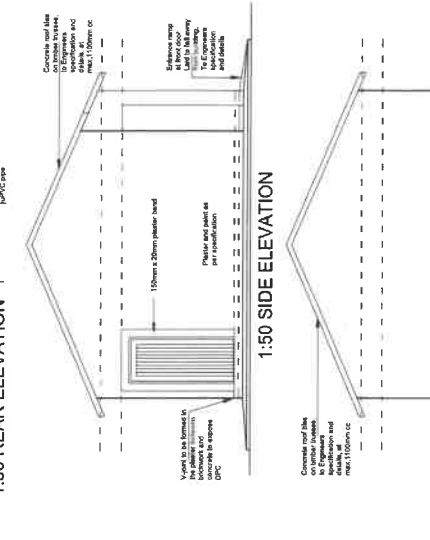
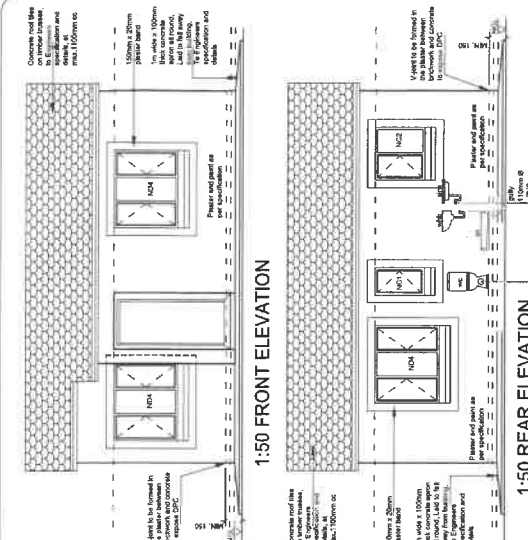
COOPERATIVE DEVELOPMENT AND SUPPORT SERVICES
 HUMAN SETTLEMENTS AND TRADITIONAL AFFAIRS
 Umpopo Department of Co-Operative Governance, Human Settlements and Traditional Affairs,
 Integrated Sustainable Human Settlements (ISHS)
 Heras Towers Building
 20 Rabo Road, Pretoria, 0010
 012 284 9300

PROJECT TITLE
 STANDARD LAYOUT - URBAN ROP PLAN
 FINANCIAL YEAR 2023/2024

DRAWING TITLE
 FLOOR PLAN
 ELEVATIONS
 ROOF LAYOUT
 WINDOW SCHEDULE
 DOOR SCHEDULE
 NOTES

SCALE AS SHOWN DRAWN MAISEL AND DATE 2023/04/01 CHECKED BY A1 COGHSTA - 0 100 0

SIZE PROJECT NO. STAGE DRAWING NO. REV
 A1 URBAN102324 0 100 0



ELECTRICAL LEGEND

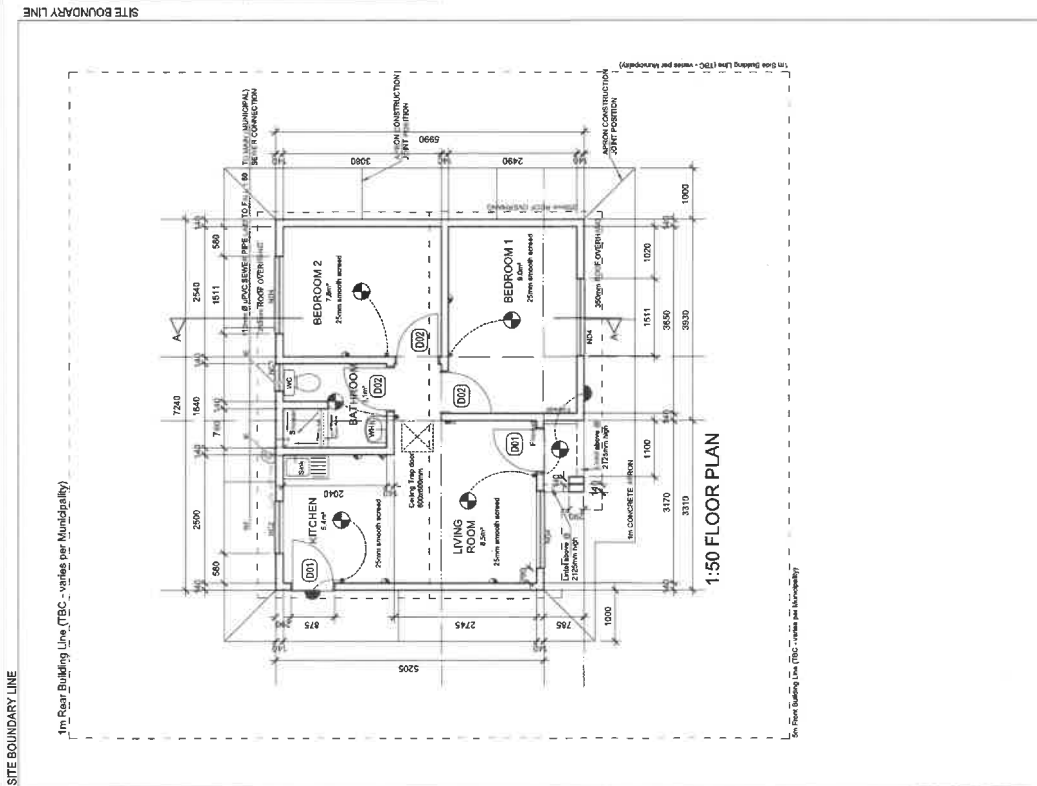
SYMBOL	DISCREPTION
1	CEILING LIGHT
2	EXTERNAL WALL LIGHT
3	PLUG POINT
4	SWITCH
5	DISTRIBUTION BOARD
6	STOVE REGULATOR

WINDOW SCHEDULE

OPENING	DESCRIPTION	TYPE	QUANTITY
D1	Open window	Open window	2
D2	Open window	Open window	3

DOOR SCHEDULE

OPENING	DESCRIPTION	TYPE	QUANTITY
D1	Open window	Open window	2
D2	Open window	Open window	3



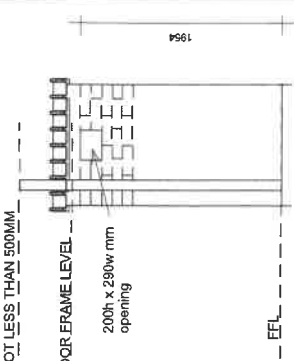
WINDOW SCHEDULE

OPENING	DESCRIPTION	TYPE	QUANTITY
D1	Open window	Open window	2
D2	Open window	Open window	3

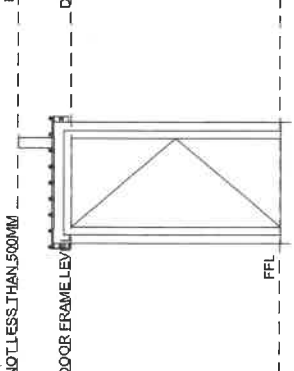
DOOR SCHEDULE

OPENING	DESCRIPTION	TYPE	QUANTITY
D1	Open window	Open window	2
D2	Open window	Open window	3

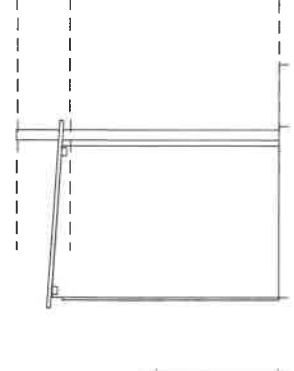
- 1. GENERAL NOTES:**
- 1.1 All levels and dimensions to be confirmed on site before construction work commences.
 - 1.2 No material containing asbestos must be used.
 - 1.3 All work must be done in accordance with the relevant SANS standards.
 - 1.4 VP Lvl in accordance to NHBRC Part 2.9.8.2
 - 1.5 An alternative building technology product to have approval certificate.
- 2. TOILET PIT**
- 2.1 VP PIT: Hand or mechanically dug pit in the following manner: The pit must be 1.0m above the ground level if the water level is high or the soil is rock. Double block pit wall in the case of rock.
 - 2.2 PIT Wall: 400mm thick wall clay brick built on the centre of 200mm x 300mm footing, 150mm dia holes to be provided at 250mm vertical centre and 900mm horizontal centre to within 500mm of the underside of the floor slab.
- 3. FLOORS:**
- 3.1 125mm reinforced concrete slab mesh ref. 245 centrally.
 - 3.2 Screed: 25mm thick cement mortar (class II mortar) 1:3 cm.
 - 3.3 Speed must be exactly finish and covers spread base of door frame at finishing stage, and tapered toward the door frame.
- 4. SUPERSTRUCTURE:**
- 4.1 WALLS: 140mm brick wall thick both external and internal in 1:3cm.
 - 4.2 Plaster: External plaster built to be 10mm thick 1:3 cm and internal plaster to be 10mm thick brush finish (part 2, section 3).
 - 4.3 Brickwork: Walls must be 2.0m dia x 110mm wide reinforced brickwork in each course above door frame level.
 - 4.4 Bricks: 75mm x 110mm x 75mm.
 - 4.5 Door Frame: 140mm door frame must be used for proper leveling spirit level before commencing with brick work, to bottom, plumbbed both direction and check the top of frame level using spirit level before commencing with brick work, to be covered by screeding in finishing stage.
 - 4.6 Vent Pipe: The ventilation pipe shall be installed such that it must be above the highest point of the roof. 150 dia vent pipe must be used. Vent pipe should be fixed to wall by means of 2 galvanized clamps 1m away.



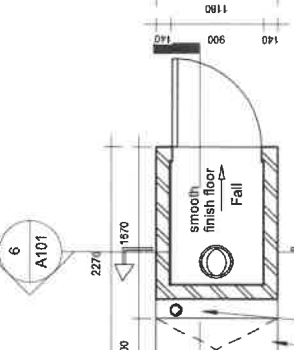
Side Elevation.
1 : 50



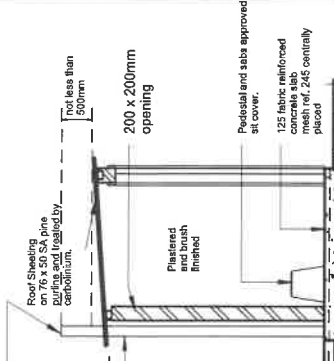
Front Elevation.
1 : 50



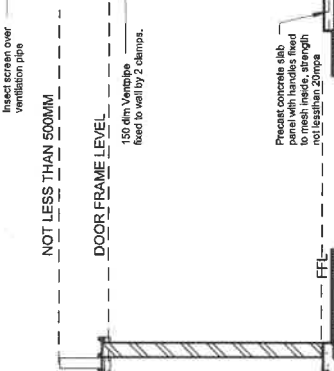
Back Elevation.
1 : 50



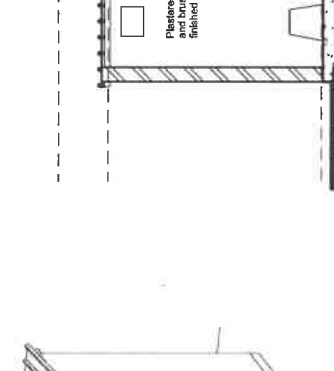
Floor Plan
1 : 50



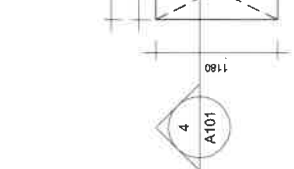
Section 3D
1 : 50



Section 6
1 : 50



Section 4
1 : 50



3D

- 5. ROOFS:**
- 5.1 0.5 200 corrugated/BR sheets chromastak (factory painted) fixed away from door position, 50 x 75mm SA Pine batten to be used to support the sheets on the pin. Apply carborundum on the exposed timber.
 - 5.2 Double strand of 4mm galv. iron roof las @ 4 courses.
 - 5.3 Downward front and back to be 200mm and Side end to be 100mm.
- 6. DOOR**
- 6.1 Brick inlaid Heavy duty self-closing copalibral door frame and 1.0 Steel Door (813 x 2030) reinforced with three horizontal studs and Pinalock lock (apply for all smooth top).
 - 6.2 200h x 290w mm opening.
 - 6.3 200h x 290w mm opening.
 - 6.4 200h x 290w mm opening.
 - 6.5 200h x 290w mm opening.
 - 6.6 200h x 290w mm opening.
 - 6.7 200h x 290w mm opening.
 - 6.8 200h x 290w mm opening.
 - 6.9 200h x 290w mm opening.
 - 6.10 200h x 290w mm opening.
 - 6.11 200h x 290w mm opening.
 - 6.12 200h x 290w mm opening.
 - 6.13 200h x 290w mm opening.
 - 6.14 200h x 290w mm opening.
 - 6.15 200h x 290w mm opening.
 - 6.16 200h x 290w mm opening.
 - 6.17 200h x 290w mm opening.
 - 6.18 200h x 290w mm opening.
 - 6.19 200h x 290w mm opening.
 - 6.20 200h x 290w mm opening.
- 7. STEPS**
- 7.1 Provide steps where the height of finish floor level is more than 200mm from the natural ground level.
 - 7.2 Provide steps where the height of finish floor level is more than 200mm from the natural ground level.
 - 7.3 Where ramp and path way are applicable, it must be done in accordance with SANS 0400 S22857.

NOTES:

ALL CONSTRUCTION AND MATERIALS TO COMPLY WITH THE REQUIREMENTS OF NHBRC'S HOME BUILDER'S MANUAL AND SANS 10-400 UNLESS OTHERWISE AGREED THROUGH RATIONAL DESIGN. PROVISION TO BE MADE FOR STORMWATER RUNOFFS. THIS DRAWING IS NOT TO BE SCALED. ALL DIMENSIONS ARE TO BE REFERRED TO THE PROJECT MANAGER (DEPARTMENT). ALL WORK TO COMPLY WITH THE LOCAL AUTHORITY BY LAWS.

DRAWING TITLE :		PROJECT :	
PLAN, SECTION AND ELEVATIONS		RURAL PROJECT	
DRAWN BY :	DATE :	CHECKED BY :	FINANCIAL YEAR :
coghsta	13.07.2016	coghsta	2018/17
PROJECT NO :	LIM Vip 01	DRAWING NO :	lim/16/17-p8

LIMPOPO
PROVINCIAL GOVERNMENT
REPUBLIC OF SOUTH AFRICA

DEPARTMENT OF
**CO-OPERATIVE GOVERNANCE,
HUMAN SETTLEMENTS & TRADITIONAL AFFAIRS**